



Pre-Application Consultation (PAC) Planning Statement

St David's Catholic Sixth Form College, Ty-Gwyn Road, Cardiff, CF23
5QD

August 2021



Document Control Sheet

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1 Introduction

- 1.1 This Pre-Application Consultation (PAC) Planning Statement has been prepared by KEW Planning, on behalf of St David’s Catholic Sixth Form College, to set out the proposed development; provide justification for the proposed works; and seek feedback from Officers regarding the scope of works.
- 1.2 The subject site is located on St David’s Catholic Sixth Form College, Cardiff, CF23 5QD. The site is within the administrative boundary of Cardiff County Council (CCC).

The Proposed Development

- 1.3 There will be a Full planning application seeking permission for the following:

“Demolition of an existing teaching block and the construction of a two-storey teaching facility (D1) on the grounds of St David’s Catholic Sixth Form College.”

Background

- 1.4 St David’s Catholic Sixth Form College requires a new teaching facility to be constructed adjacent to the main College building, creating a floorspace of 1,017 sqm. This is to facilitate 9no. classrooms, a Lecture Theatre, and ICT facilities to allow the College to expand their academic programme for current and future pupils. The new teaching facility will also provide a more flexible use of space and accommodate circa 300 additional pupils by 2023/24.

PAC Application Documentation

- 1.5 The pre-application consultation documents enclosed comprise the following:
- Planning Application forms.
 - Site Location Plan (drawing number 01003_P06) prepared by Chapter 3 Architects.
 - Existing Site Plan (drawing number 01007_P03) prepared by Chapter 3 Architects.
 - Proposed Site Plan (drawing number 01008_P05) prepared by Chapter 3 Architects.
 - Proposed Ground Floor GA Plan (drawing number 01000_P07) prepared by Chapter 3 Architects.

- Proposed First Floor GA Plan (drawing number 01001_P06) prepared by Chapter 3 Architects.
- Proposed Roof GA Plan (drawing number 01002_P04) prepared by Chapter 3 Architects.
- Proposed GA Elevations (drawing number 02000_P06) prepared by Chapter 3 Architects.
- Pre-application Consultation (PAC) Planning Statement prepared by KEW Planning.
- Pre-Application Design Statement prepared by Chapter 3 Architects.
- Transport Statement prepared by Apex Transport Limited.
- Landscape Strategy prepared by Bronwen Thomas Landscape Architect.
- Outline Drainage Strategy prepared by NJP Consulting Engineers Ltd.
- Preliminary Ecology Appraisal (PEA) and Initial Bat Roosting Survey prepared by The Landmark Practice.

1.6 Appendix 1 contains a list of application documents, which are expected to support a potential planning application for the site. We would welcome your comments on this.

Structure of Statement

1.7 This statement contains the following:

- **Section 2** – an analysis of the site and surrounding area, indicating the site-specific conditions, which potentially affect the proposed development.
- **Section 3** – a review of the planning history records, which are a material consideration.
- **Section 4** – a summary of the relevant planning policies which the proposed development should comply with.
- **Section 5** – a justification for the proposed scope of works.
- **Section 6** – sets out the conclusions

2 Site and Surrounding Area

2.1 This section reviews the prevailing conditions of the existing site and the surrounding area, which are material considerations when assessing the suitability of the proposed development.

The Site

2.2 The site is located within the Pen-y-lan area of Cardiff, directly south of the A48. The College’s entire site includes the main building (at 4 storeys high), multiple teaching blocks, sports grounds and three car parking areas. The College grounds are outlined in green, and the subject site is outlined in red, shown in [Figure 1](#) below.

Figure 1 – Site location



2.3 The application site is located west of the main College building, which is currently occupied by the College’s Honour Theatre (see [Figure 2](#) below). There is also a section of the footpath from the south, a section of the grassland with picnic benches, and a small section of the existing main car park (removing 6no. car parking spaces).

Figure 2 – Existing Honour Theatre block

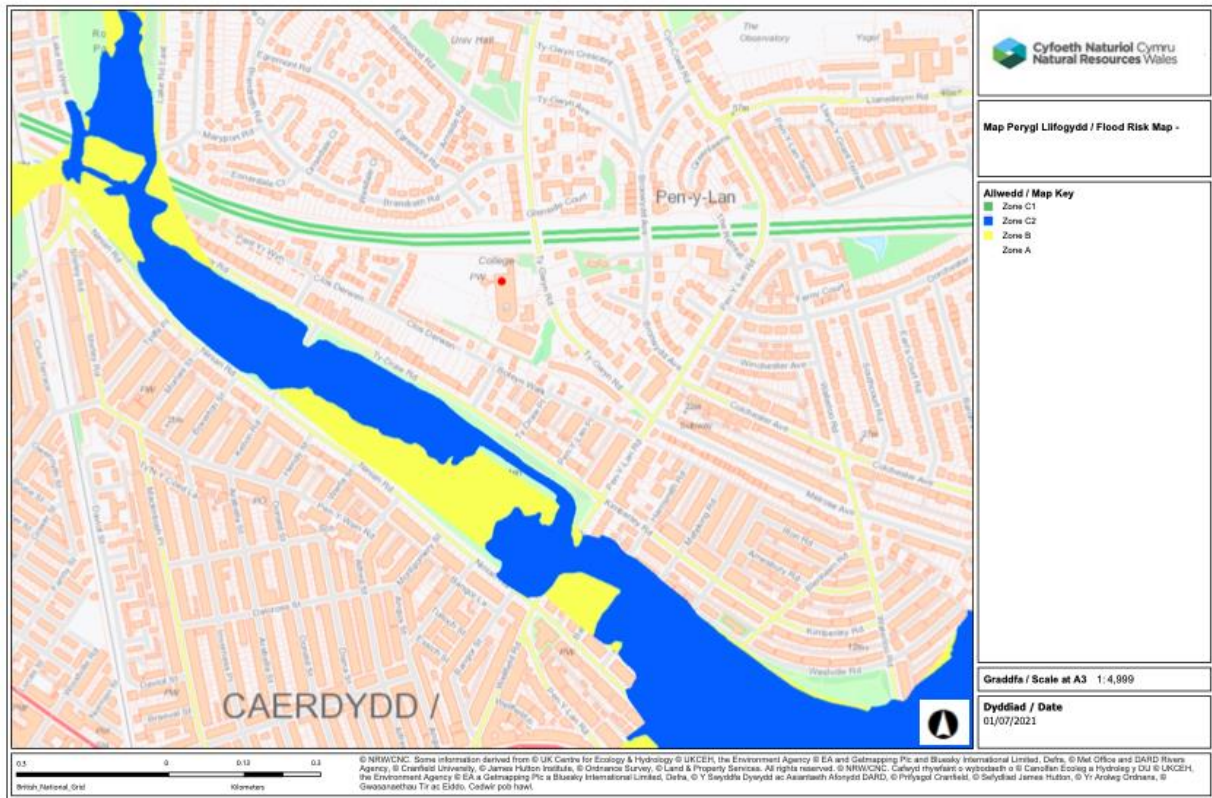
- 2.4 As is demonstrated through [Figure 2](#) above, the existing Honour Theatre is out-dated and small, restricting the academic programme and activities the College can offer pupils in this facility.

The Surrounding Area

- 2.5 Pen-y-lan is located within the east of Cardiff, both north and south of the A48 dual carriageway. It is a predominantly residential area, comprising mostly of Edwardian-style housing.
- 2.6 Pen-y-lan has several parks, including Howardian Local Nature Reserve, Waterloo Gardens, Roath Mill Gardens, the Harlequins Recreation Ground, and the southern part of Roath Recreation Ground.
- 2.7 The application site is served well by sustainable transport links, located approximately 0.1 miles (3-minute walk) from the nearest bus stop (Glenside Court), and approximately 1.8 miles (35-minute walk) from the nearest train stop (Heath Low Level). The site is also located south of the A48, which connects the site to the rest of the UK by road.

2.8 the site is located in flood zone A as seen in the Natural Resources Wales (NRW) flood risk map below (Figure 3). This means the site is considered to be at little or no risk of fluvial or tidal/coastal flooding.

Figure 3 – Flood Risk Map (NRW)



3 Planning History

3.1 Research of the statutory online register has revealed an extensive planning history for the site and the surrounding area. [Table 1](#) contains the records relating to the application site and the neighbouring properties.

Table 1 – Relevant Planning History Records

No.	Reference	Address	Description of Development	Decision	Date
1	21/01257/ MNR	St David’s Roman Catholic Sixth Form College	The erection of 4no. temporary double-classrooms	Registered (not yet determined).	
2	11/00219/ DCO	St David’s Roman Catholic Sixth Form College	Rooftop installation of photovoltaic solar panels	Approved.	12/04/2011
3	06/300/E	St David’s Roman Catholic Sixth Form College	Change of use of former sports ground into parking area with access route and lighting columns plus new astroturf pitch with associated works.	Approved.	15/11/2006
4	03/00545/ R	St David’s Roman Catholic Sixth Form College	Retention of temporary classrooms for further period to 28th February, 2008	Approved	24/04/2003
5	02/01441/ R	St David’s Roman Catholic Sixth Form College	Retention of temporary classrooms for further period to 28th February, 2003	Approved	15/08/2002
6	01/00718/ R	St David’s Roman Catholic Sixth Form College	Relocation of 4 no. existing temporary classrooms siting of 4 additional temporary classrooms (8 in total).	Approved	14/06/2001
7	00/02338/ R	St David’s Roman Catholic Sixth Form College	Construction of IT teaching block adjacent to sports hall	Approved	16/02/2001

4 Planning Policies

4.1 All development should be in accordance with the statutory development plan, unless material considerations indicate otherwise. Both national planning policy and supplementary planning documents are afforded material weight in the decision making process.

4.2 In this context, the statutory development plan for CCC comprises of:

- Cardiff’s adopted Local Development Plan (adopted 28th January 2016).
- Other material considerations including Supplementary Planning Documents (SPDs) should also be taken into account.

Site designation

4.3 CCC’s Proposals Map (Figure 4) confirms that the site holds the following designations:

- Settlement Boundary

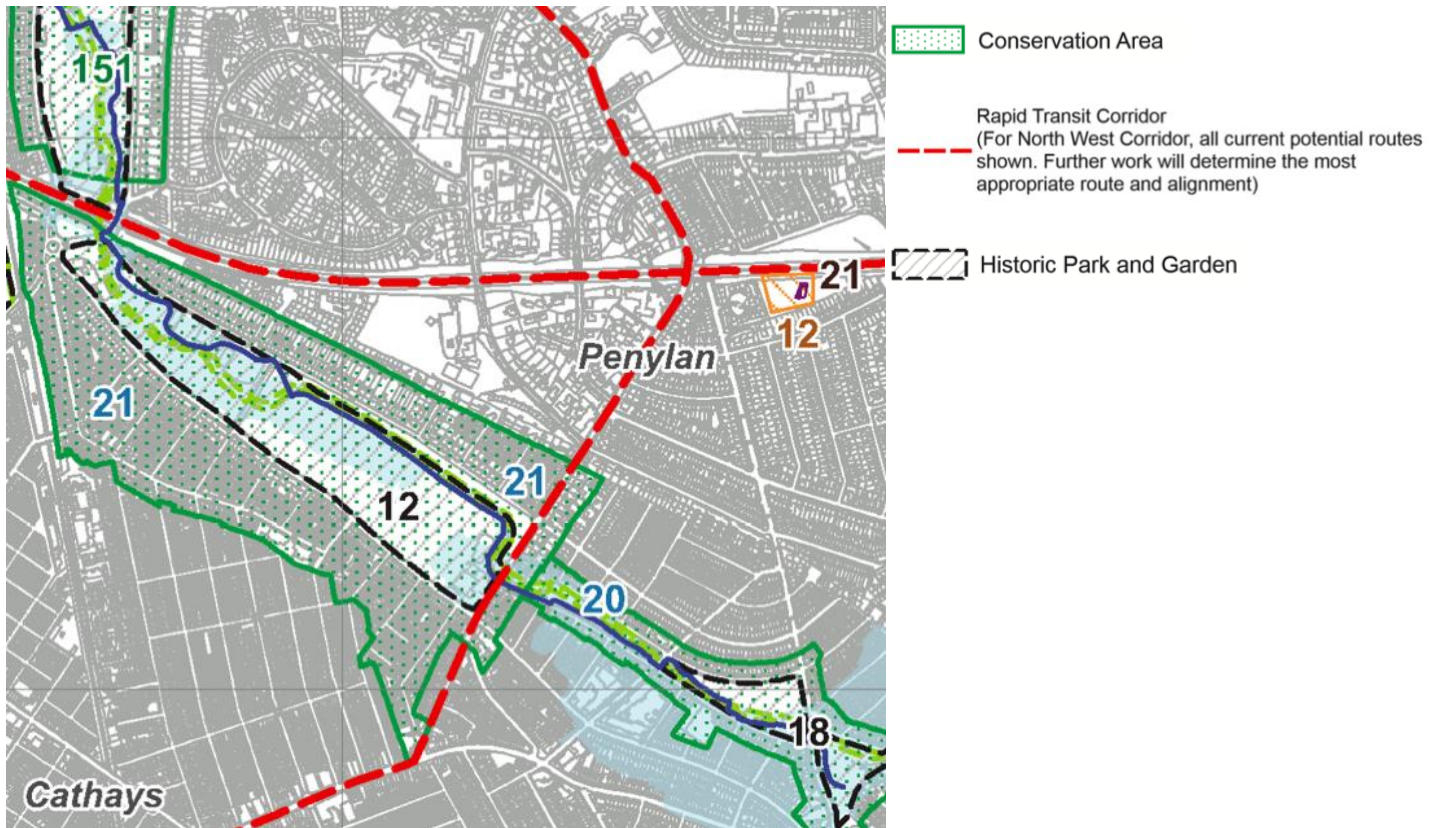
4.4 It also confirms that the site is located directly south of a Strategic Bus Corridor Enhancement (the A48); and north of a River Corridor (Roath Recreational Grounds).

Figure 4 – Extract of the Proposals Map



4.5 The Constraints Map (Figure 5 below) shows that the site is located directly south of a Rapid Transit Corridor (the A48); and directly north of the Roath Park Conservation Area (January 1973).

Figure 5 – Extract of Constraints Map



Planning Policy Wales (PPW): Edition 11 (February 2021)

- Para 3.3 – Good Design Making Better Places
- Para 3.49 – Accessibility
- Section 4.1 – Transport
- Section 6.2 – Green Infrastructure
- Section 6.3 – Landscape
- Section 6.4 – Biodiversity and Ecological Networks
- Section 6.6 – Water and Flood Risk

4.6 The primary objective of Planning Policy Wales (PPW) is to ensure that the planning system contributes towards the delivery of sustainable development and improves the social, economic, environmental, and cultural well-being of Wales.

4.7 Technical Advice Notes (TANs)

TAN 5 – Nature Conservation & Planning (2009)

Provides guidance on the way to manage development and protect biodiversity ecological species.

TAN 11- Noise (1997)

Sets out how the planning system can be used to minimise the adverse impact of noise without placing unreasonable restrictions on development.

TAN 12 – Design (2016)

Provides guidance on how good design should be achieved through the planning process.

TAN 18 – Transport (2007)

Describes how to integrate land use and transport planning. It explains how transport impacts should be assessed and mitigated.

TAN 21 – Waste (2014)

Provides guidance on the role of land use planning in the management and control of waste.

Supplementary Planning Guidance (SPG)

4.8 CCC have several Supplementary Planning Guidance (SPG) documents, which are a material consideration, including the following:

- Managing Transport Impacts (incorporating Parking Standards) SPG (July 2018)
- Planning Obligations (January 2017)
- Green Infrastructure SPG (October 2016)

4.9 Any future application should meet both the requirements of PPW and local policies, identified below.

Local Planning Policy

4.10 The following policy documents have informed the proposals at pre-application stage and will continue to inform the scheme as the design is progressed to the next stage.

Cardiff’s Adopted Local Plan (2006-2026)

- Policy KP5: Good Quality and Sustainable Design
- Policy KP6: New Infrastructure

- Policy KP8: Sustainable Transport
- Policy KP16: Green Infrastructure
- Policy T5: Managing Transport Impacts
- Policy C7: Planning for Schools

Policy KP5: Good Quality and Sustainable Design

4.11 To help support the development of Cardiff as a world-class European Capital City, all new development will be required to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces by:

- Responding to the local character and context of the built and landscape setting so that layout, scale, form, massing, height, density, colour, materials, detailing and impact on the built and natural heritage are all addressed within development proposals
- Providing legible development which is easy to get around and which ensures a sense of continuity and enclosure
- Providing a diversity of land uses to create balanced communities and add vibrancy throughout the day
- Creating interconnected streets, squares and spaces as distinctive places, which are safe, accessible, vibrant and secure and incorporate public art where appropriate
- Providing a healthy and convenient environment for all users that supports the principles of community safety, encourages walking and cycling, enables employment, essential services and community facilities to be accessible by sustainable transport and maximises the contribution of networks of multi-functional and connected open spaces to encourage healthier lifestyles
- Maximising renewable energy solutions
- Achieve a resource efficient and climate responsive design that provides sustainable water and waste management solutions and minimise emissions from transport, homes and industry
- Achieving an adaptable design that can respond to future social, economic, technological and environmental requirements
- Promoting the efficient use of land, developing at highest practicable densities and where appropriate achieving the remediation of land contamination
- Ensuring no undue effect on the amenity of neighbouring occupiers and connecting positively to surrounding communities

- Fostering inclusive design, ensuring buildings, streets and spaces are accessible to all users and is adaptable to future changes in lifestyle.”

Policy KP6: New Infrastructure

4.12 New development will make appropriate provision for, or contribute towards, all essential, enabling and necessary infrastructure required as a consequence of the development in accordance with Planning Policy Guidance. Such infrastructure will be delivered in a timely manner to meet the needs of existing and planned communities and includes the following aspects which may be required having regard to the nature, scale and location of the proposed development:

Essential / Enabling Infrastructure:

- Transportation and highways including access, circulation, parking, public transport provision, walking and cycling;
- Utility services;
- Flood mitigation / defences.

Policy KP8: Sustainable Transport

4.13 Development in Cardiff will be integrated with transport infrastructure and services in order to:

- Achieve the target of a 50:50 modal split between journeys by car and journeys by walking, cycling and public transport.
- Reduce travel demand and dependence on the car;
- Enable and maximise use of sustainable and active modes of transport;
- Integrate travel modes;
- Provide for people with particular access and mobility requirements;
- Improve safety for all travellers;
- Maintain and improve the efficiency and reliability of the transport network;
- Support the movement of freight by rail or water; and
- Manage freight movements by road and minimise their impacts.

KP16: Green Infrastructure

- 4.14 Protection and conservation of natural heritage network needs to be reconciled with the benefits of development. Proposed development should therefore demonstrate how green infrastructure has been considered and integrated into the proposals. If development results in overall loss of green infrastructure, appropriate compensation will be required.

Policy T5: Managing Transport Impacts

- 4.15 Where necessary, safe and convenient provision will be sought in conjunction with development for:
- Pedestrians, including people with prams and/or young children;
 - Disabled people with mobility impairments and particular access needs;
 - Cyclists;
 - Powered two-wheelers;
 - Public transport;
 - Vehicular access and traffic management within the site and its vicinity;
 - Car parking and servicing;
 - Coach parking; and
 - Horse-riders.

Policy C7: Planning for Schools

- 4.16 Where a need has been identified for new and improved school facilities as a result of development, the Council will seek contributions towards the cost of additional education provision. Negotiated contributions will be fairly and reasonably related in scale and kind to the proposed development. Where appropriate on-site provision will be required.
- 4.17 Development of nursery, primary, secondary and sixth form education should:
- Be well designed, well related to neighbourhood services and amenities, and easily accessible by sustainable transport modes; and
 - Include, where appropriate, provision for other appropriate community uses in addition to their educational use.

5 Justification for Proposed Works

5.1 This section of the Pre-Application Consultation Planning Statement identifies the planning issues associated with the proposed development and explains how each issue has been considered in relation to the adopted development plan and its policies.

5.2 The planning issues are as follows:

- Principle of Development
- Design, Scale, and Landscaping
- Highways, Transport and Accessibility
- Trees and Ecology
- Drainage

Principle of Development

5.3 The new teaching facility will facilitate the College’s increase in pupil numbers; its ability to expand their academic programme; and its provision of 9no. additional classrooms, lecture theatre and ICT facilities to expand their academic offer for current and future pupils. The potential increase in pupil numbers is set out in Table 2 below, which suggests that the College could see an increase of circa 300 pupils by 2023/24. The new teaching facility is therefore required to meet this additional need and provide a more flexible use of space for the College.

Table 2 – Potential increase in pupil numbers

	Growth pattern for schools in Cardiff	Total number of students at St David’s Catholic Sixth Form College
2019/20		1,395
2020/21	1.1	1,535
2021/22	1.03	1,581
2022/23	1.04	1,644
2023/24	1.05	1,726

- 5.4 The new teaching facility would be located within the boundary of the College campus, in very close proximity to the main teaching building. This is within the defined settlement boundary where development is directed by **Policy KP3 (b)** and it therefore complies with this policy. The new teaching facility would be located in an area which is well screened, in the centre of the site, with good levels of landscaping and additional buildings to obscure views from neighbouring properties.
- 5.5 On this basis, it is considered that the principle of development in this location for a new teaching facility for educational purposes, is acceptable.

Design, Scale, and Landscaping

- 5.6 **Policy KP5** requires all new development to respond to the local character and context of the surrounding area showing good design principles in the layout, scale, form, massing, height, density, colour, materials, detailing and impact.
- 5.7 The teaching facility would be in-keeping with the design and character of the existing buildings at the College site and the wider surrounding area, by including the following design features:
- A height of two-storeys would be in-keeping and proportionate to the height and scale of the existing buildings on the College campus. A flat roof has been included to create a uniform and consistent eaves line to all elevations of the building.
 - The parapet wall rises above the flat roof to obscure the photovoltaics yet ensure the building achieves the BREEAM Excellent rating.
 - The curved elevations to the building delivers an attractive and modern addition to the College campus.
 - The layout and orientation of the proposed new teaching building creates a positive vista towards the sports playing grounds, creating good outlook.
 - A combination of contemporary and modern materials and features have been used to create an interesting façade.
 - The provision of an attractive, useable outdoor space between the building’s frontage and the sports playing grounds. This will be provided through use of planting, a rain garden, and a seating/breakout space. This addition will create a new sense of place for the pupils of the College to enjoy.

- 5.8 Figure 6 below demonstrates the type of materials which would be used for the new teaching facility.
- 5.9 A landscaping scheme has been produced to accompany this pre-application consultation, setting out how the development will meet the design and environmental policies. The landscape concept layout includes a paved covered terrace with seating along the front of the proposed teaching block, with picnic tables accessed from a ramped footpath. This provides a space for pupils to socialise and relax during the day.
- 5.10 The above demonstrates that all of the criteria of **Policy KP5** have been considered and met.

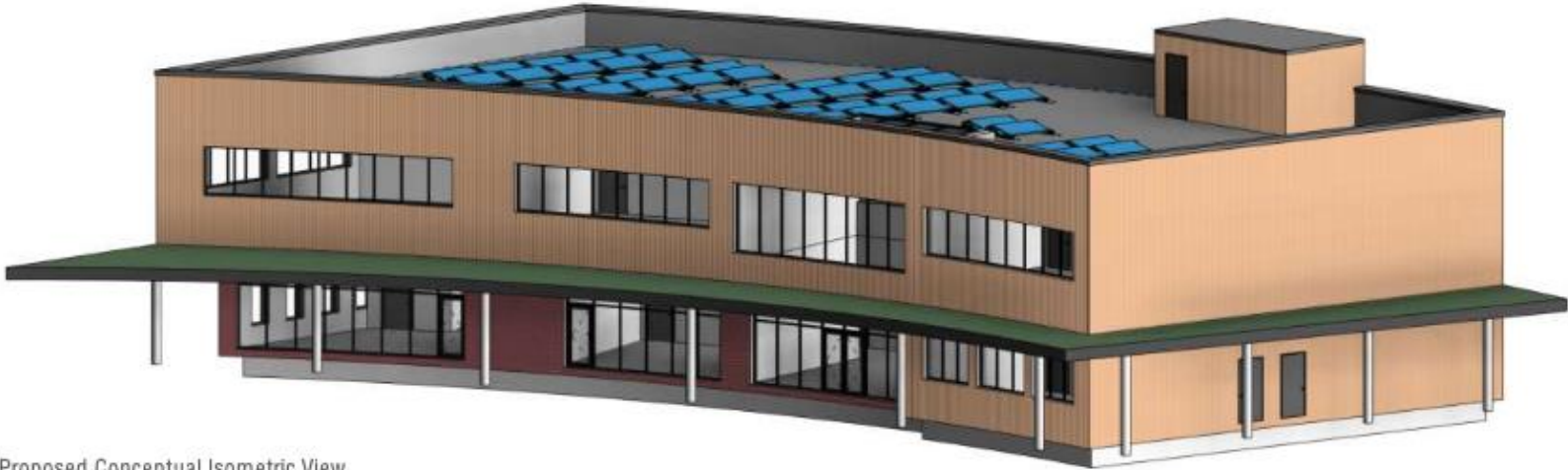
Figure 6 – Conceptual elevations of the proposed teaching facility.



Proposed Conceptual South Elevation



Proposed Conceptual North Elevation



Proposed Conceptual Isometric View





Highways, Transport and Accessibility

- 5.11 The new teaching facility would overlap a small section of the existing car park. This would equate to a loss of 6no. car parking spaces. The College is, however, already well connected to Cardiff's public transport infrastructure, including Cardiff Bus Route 52, which runs directly past the College. Cardiff Bus and NAT group run service buses near the College, which are frequently used by students (X1, 51, 52, 53, 57). The College security staff regularly patrol Ty-Gwyn Road and Boleyn Avenue to ensure all staff or students use the College site for car parking purposes.
- 5.12 Table 3 below demonstrates that 11% of students live less than 1 mile from the College, and a further 23% live 1-2 miles from the College. These students are likely to either walk or cycle to the College. Furthermore, 28% of students live 2-3 miles from the College, and these are likely to either cycle or use public transport. There are approximately 20 cycle parking spaces at the College. The College is intending to increase the cycle parking to over 100 cycle stands, to promote sustainable forms of transport.

Table 3 – The distance travelled by students to the College

Distance from College	No. of students	%	Cumulative %
Less than 1 mile	165	11%	11%
1-2 miles	338	23%	35%
2-3 miles	400	28%	63%
3-5 miles	243	17%	80%
Over 5 miles	294	20%	100%
	1440	100%	

- 5.13 This complies with **Policy KP8**, which encourages development that reduces travel demand and dependence on the car. A Transport Statement (TS) accompanies this pre-application consultation to support the scheme. There are a number of mitigation measures outlined in the TS which the College will be implementing.
- 5.14 Given the Welsh Government's recent commitment to place climate change at the centre of our transport system within the Wales Transport Strategy 2021 (Llwybr Newydd), it is considered that a reduction in car parking spaces will, in fact, encourage staff and pupils to use more active modes of travel. Therefore, a reduction in car parking spaces should not be

viewed as a negative implication, as it will encourage individuals to use the readily available public transport, which will lead to a fewer number of cars on the highway network.

- 5.15 There are clearly identifiable pedestrian routes throughout the College campus, between the main building, the car park, and the sports playing grounds. A new covered pedestrian walkway will be provided from the new teaching facility to the College’s main building, which allows safe and convenient access by all. A new ramped footpath will also be provided to the front of the new teaching facility, with a handrail along the outer edge to provide access to individuals with limited mobility. In addition, the new teaching facility would be located immediately adjacent to the existing car park, providing direct access for students, staff and visitors. Therefore, the proposed development would comply with **Policy T5**.

Trees and Ecology

- 5.16 The proposed development is within close proximity to a group of mature Horse Chestnut and Pine trees. The teaching facility would not result in a loss of these existing trees, or any potential habitat/wildlife associated with the trees. However, a Tree Assessment, an Arboricultural Method Statement, and a Preliminary Ecological Appraisal (PEA) will be provided at application stage to ensure the Root Protection Area (RPA) is not affected by the development. The PEA and Roosting Bat survey report will assess whether the trees or the existing Honour Theatre support any roosting bats and, if so, identify any mitigation measures required due to the demolition of the Honour Theatre. This will ensure the nearby trees and associated habitat/wildlife will be conserved and protected, in accordance with **Policy KP16**.

Drainage

- 5.17 The investigation into the underlying ground conditions confirmed that it comprises of variable sandy, silty, clay sand. Accordingly, ground soakaways are unviable at this site due to the underlying strata being impermeable. Due to this, the drainage strategy is seeking to provide filtration for roof water and terrace run off through a rain garden. From the flow control chamber, a network of pipes and chambers will convey the runoff to the existing surface water chamber at the southern boundary of the site before exiting to the public network.
- 5.18 A separate SAB application will be submitted at the planning application stage of the proposed development for approval prior to the commencement of any development.

6 Conclusions

Educational benefits of the scheme

- 6.1 This proposed development would deliver a raft of benefits for St David’s Catholic Sixth Form College, allowing the College to expand their educational programme for current and future pupils.
- 6.2 The proposed development would deliver the following:
- The provision of 9no. new classrooms
 - A state-of-the-art Lecture Theatre
 - Additional ICT facilities
- 6.3 At this pre-application consultation stage, it is possible to identify the following benefits the scheme would deliver:
- A more flexible use of space for the College, which will allow the College to accommodate the potential increase of circa 300 pupils by 2023/24.
 - An attractive, useable outdoor space between the proposed development’s frontage and the sports playing grounds. This hard and soft landscaping, including a seating/breakout space, will create an informal social area for students, providing an enjoyable environment to socialise outside of academic lessons.
 - The ability to offer an increase in the range of courses and teaching available at the College, to create an improved education experience.

Sustainable development

- 6.4 Sustainability measures have been considered from the Concept Design Stage, with the early engagement of an experienced BREEAM Accredited Professional at the outset. The BREEAM pre-assessment concluded that the proposed development could provisionally achieve a targeted BREEAM rating of 60.45% ‘Very Good’ with potential to increase to ‘Excellent.’ Considering sustainability at the outset will ensure adequate sustainability measures and maximum energy efficiency is achieved.
- 6.5 The rain garden will improve the amenity, biodiversity, and water quality at the proposed development site.

Conclusion

- 6.5 The proposed development has been assessed in relation to the adopted planning policy framework and is considered to meet the relevant policies. With this in mind, alongside the educational benefits of the scheme, we expect a positive response by CCC at this pre-application stage.

Appendix 1 – List of Application Documents

- Application forms.
- Location plan (scale 1:1250).
- Scaled drawings (existing and proposed floorplans, elevations, sections and CGIs).
- Planning Statement.
- Design and Access Statement.
- Transport Assessment.
- Travel Plan.
- Tree Assessment
- Arboricultural Method Statement
- Preliminary Ecological Appraisal
- Bat Roosting Survey Report
- Landscaping Strategy

